

AGENDA

LVWA BOARD OF TRUSTEE MEETING WEDNESDAY, SEPTEMBER 4, 2024 at 1:00 PM WILLOW HALL

Board Meetings are an important part of running an Association, so keeping them as efficient and productive as possible is key! Rules of Public Comment and Participation in the open portion of the Board meeting are as follows; residents will be allowed a three-minute comment or question related to the topic on the agenda at the time it is being discussed or presented by the Board of Trustees. Everyone is to stay civil and use respectful language while also avoiding personal attacks. Maximum two times at podium.

- PLEDGE OF ALLEGIANCE
- CALL TO ORDER
- ROLL CALL

FIRST ORDER OF BUSINESS:

1. Reorganization of Officers
 - OFFICIAL REPORT FROM 2024 TRUSTEE ELECTION

ITEMS TO BE VOTED ON:

1. Motion to waive the reading of the minutes.
2. Motion to approve the August 7, 2024 minutes.
3. Motion to approve revisions to Architectural Specification 2_5, "Installation of Garden Window - (Kitchen Window Only)."
4. Motion to approve new Architectural Specification 3_13, "Window to Patio/Deck Door - (Ritz Model Only)."

PRESENTATION OF REPORTS:

I. COMMITTEE REPORTS

- Architectural Committee (Barbara Owens)
- Community Services Committee (Michael Morizio)
- Finance Committee (Chuck Corvo)
- Administration Committee (Mary Rose McCarthy)

II. RECREATION REPORT (Mary Lighthipe)

III. COMMUNITY MANAGER'S REPORT (Jim Snyder)

IV. BOARD OF TRUSTEE'S REPORT (Board President)

UNFINISHED BUSINESS

NEW BUSINESS

1. Revision to Specification 2_2, "Installation of Vinyl Replacement Windows"
2. Revision to Specification 2_9, "Installation of New Construction Windows"
3. Revision to Specification 2_10A, "Window Modification - Garden Window"
4. Revision to Specification 2_10B, "Window Modification - Double Hung"
5. Revision to Specification 2_10C, "Window Modification - Double Hung to Picture Window"
6. New Specification 6_9, "A/C Condensing Units and Heat Pump Screens"

AGENDA

LVWA BOARD OF TRUSTEE MEETING WEDNESDAY, SEPTEMBER 4, 2024 at 1:00 PM WILLOW HALL

The next open Board meeting will be held on Wednesday, October TBD, 2024 at TBD in the auditorium at Willow Hall.

- **ADJOURN OPEN MEETING**

RESIDENT COMMENTS/QUESTIONS PERIOD:

- ★ Rules of Public Comment and Participation in the Open Forum are as follows;
 - In general, residents' questions and comments should be addressed to the interest of all residents. For resolution of personal or maintenance issues, contact the Department Manager and, if necessary, the Community Manager.
 - The Open Forum is not a debating time or a time to cross-examine our neighbors serving as Trustees.
 - This is an opportunity for residents to be heard but everyone is to stay civil and use respectful language while also avoiding personal attacks.
 - The Open Forum will be limited to one-hour but may end sooner if only a few residents address the Board.
 - Residents may make a comment or ask a question and will be allowed three-minutes to do so, there will be a two-minute comment or answer, if necessary, from the Board of Trustees and a one-minute follow-up question allowed by the resident.
 - Maximum two times at the podium.
 - If a resident was unable to ask a question or make a comment, the Board may be emailed at bot@lvwa.net. Emails will be reviewed at a Board of Trustee workshop meeting. Statements and opinions of village wide significance will periodically be addressed at an Open Board of Trustee Meeting and/or in the Manager's Corner of the LVW News Magazine.

The meeting was called to order at 1:00 PM by Board President, Fay Weinstein with the Pledge of Allegiance.

PRESENT: Trustees: Present were President - Fay Weinstein, Vice President - Wayne Steinman, Secretary - Steven Leslierandal, Treasurer - Eugene Murphy, Trustee - Al DAmato, Trustee - Charles Lupo, and Trustee - Ivan Gilbert.

Management Staff: Present were Community Manager – Jim Snyder, Accounting Administrator – Michelle Lampard and Recreation Director – Mary Lighthipe.

APPEARANCES: David Merritt from McGovern Legal Services, LLC who is counsel for the Association was present to state the impact and process regarding the active lawsuit vs. LVW/Employees. (He left the meeting at 1:08 PM)

ITEMS VOTED ON: *(continued in Community Manager's Report)*

S. Leslierandal moved to waive the reading of the minutes. W. Steinman seconded. A vote was called and all were in favor. Motion carried.

S. Leslierandal moved to approve the July 3, 2024 minutes. C. Lupo seconded. There was no discussion and a vote was called. All were in favor. Motion carried.

A.DAmato moved to approve the purchase of 50 panels, 25 posts and screws to repair the fences between Pulham Court and the Maintenance Shop and to also repair the wood shop fence from Lowe's and utilize in-house labor to install the needed 50 panels and 25 posts for a total cost of \$3,841.65. The funds to meet this expense will be provided by account #3230 – Capital Replacement/Common Buildings. W. Steinman seconded. There was no discussion and a vote was called. All were in favor. Motion carried.

E. Murphy moved to adopt the Operating Budget, Reserve Funding and Maintenance Fee Schedule for FYE 9/30/25, as presented at the meeting on July 24, 2024. S. Leslierandal seconded. There was Board discussion and Audience comments and questions. A vote was called.

S. Leslierandal – Yes
E. Murphy – No
W. Steinman – Yes
I. Gilbert – Yes
A.DAmato – Yes
C. Lupo – No
F. Weinstein – Yes

Motion carried.

C. Lupo moved to approve revisions to Architectural Specification 1_17, "Privacy Fence – Encore Models Only." A.DAmato seconded. There was no discussion and a vote was called. All were in favor. Motion carried.

PRESENTATION OF REPORTS:

COMMITTEE REPORTS:

The Board approved Janet Ramos as a member of the ADR (Alternate Dispute Resolution) Committee.

- Barbara Owens, Chairperson, gave a report for the Architectural Committee.
- Michael Morizio, Chairperson, gave a report for the Community Services Committee.
- Chuck Corvo, Chairperson, gave a report for the Finance Committee.
- There was no report for the Administration Committee.

M. Lighthipe gave a report for the Recreation Department which included a report for Bingo.

COMMUNITY MANAGER'S REPORT: (J. Snyder)

- As a safety precaution, residents are asked to check their fire extinguishers as they do expire.
- The 20-year-old (2004) Honda GX390 with Cat pump power washer is no longer operational. It is not cost effective to replace the motor with the age of the unit. The following quotes were received;

VENDOR	POWER WASHER	PRICE (TAX INCLUDED)
ACE TOOL	MI-T-M PRESSURE WASHER 4000	\$4,207.42
PITTSBURGH SPRAY EQUIPMENT CO	4200PSI DIRECT DRIVE CAT PUMP BY SIMPSON	\$1,447.97
PITTSBURGH SPRAY EQUIPMENT CO	PRESSURE PRO 4200PSI VIPER PUMP	\$1,993.39
PRESSURE WASHER DIRECT	BE POWER EQUIPMENT PROFESSIONAL 4000PSI GENERAL PUMP	\$1,649.48

Management is recommending to purchase 4200PSI Direct Drive Cat pump by Simpson pressure washer from Pittsburgh Spray Equipment Co. for a cost of \$1,447.97. Upon recommendation from Management, *W. Steinman moved to approve the purchase of a 4200PSI Direct Drive Cat pump by Simpson pressure washer from Pittsburgh Spray Equipment Co. for a total cost of \$1,447.97. The funds to meet this expense will be provided by account #3150 – Property Fund. S. Leslierandal seconded. There was a question from the audience. A vote was called and all were in favor. Motion carried.*

- The irrigation well pumps and motors purchased at the beginning of the season were used and now need to be restocked. With the lawn restoration project beginning soon and the continued summer heat, there is a need to restock the supply of pumps and motors to be prepared if there are any well failures. Management went out to bid and received the following quotes;

VENDOR	MOTOR X'S 3	PUMP X'S 3	DELIVERY	TOTAL W/TAX
PUMP PRODUCTS	\$4,593.33	\$5,366.76	-	\$10,619.96
SUPREME WATER SALES	\$4,196.85	\$2,830.62	\$249.24	\$7,758.79
ALWAYS PURE	DID NOT SUBMIT TO DATE			

Management is recommending to purchase three pumps and three motors from Supreme Water Sales for a total cost of \$7,758.49. This expense will be charged to account #3260 – Capital Replacement Fund/Irrigation-Well Motors. Upon recommendation from Management, *I. Gilbert moved to approve the purchase of three pumps and three motors from Supreme Water Sales for a total cost of \$7,758.79. The funds to meet this expense will be provided by account #3260 – Capital Replacement Fund/Irrigation-Well Motors. W. Steinman seconded. There was a question from a Board member and a vote was called. All were in favor. Motion carried.*

- As part of Leisure Village West's seven (7) year contract with Viking Pest Control, Viking must perform a preventative treatment on all homes during the contract period (approximately 385 per year). A FRONTSTEPS bulletin with a spreadsheet providing dates of treatment by Condo and Address will be sent to residents.
- There have been many reported overnight parking violations to the Association and the Board is considering towing any vehicle parked overnight on the street without warning.
- The LVW Deli will be receiving their final permit from the Township on August 8th and hope to open within two weeks.
- The Community Manager will be meeting with Manchester Township Mayor, Robert Arace regarding new patios and expansion of patios.

- The inspections of five-foot areas have begun. Residents will be notified by a door hanger if they are in violation.
- The reserve study is underway and the initial inspections have begun.
- The Board discussed in a workshop session allowing up to six children in addition to the four guests already allowed per unit at the pools. After much discussion, *A.DAmato moved to approve allowing up to six children as guests, in addition to the four adult guests already permitted at the pools with pre-approval from the Association office for the rest of the 2024 pool season. C. Lupo seconded. There was no further discussion and a vote was called. All were in favor. Motion carried.*
- Howard Height, IT/Facilities Manager presented a PowerPoint regarding the new LVW Website which will launch in September.
- J. Snyder gave an update regarding the conditions of the lawns.

BOARD OF TRUSTEE'S REPORT: (F. Weinstein)

- The radar speed signs will be ready by the next open Board meeting.
- The Board will be holding a Townhall meeting on Tuesday, September 10th from 6:00PM to 8:00PM regarding proposed Bylaws amendments for transfer fees and electronic voting, and discuss bulk television since the Verizon contract is ending October 2025.
- F. Weinstein thanked C. Lupo and E. Murphy for serving on the Board of Trustees.

THERE WAS NO UNFINISHED BUSINESS.

NEW BUSINESS:

1. Revisions to Architectural Specification 2_5, "Installation of Garden Window – (Kitchen Window Only)" was presented as attached to the agenda. The Board will vote on this at the next open Board meeting on September 4, 2024.
2. A new Architectural Specification 3_13, "Window to Patio/Deck Door- (Ritz Model Only)" was presented as attached to the agenda. The Board will vote on this at the next open Board meeting on September 4, 2024.

The next open Board meeting will be held on Wednesday, September 4, 2024 at 1:00 PM in the auditorium at Willow Hall.

There being no further business, the Board meeting adjourned at approximately 3:37 PM.

Samantha Bowker
Administrative Assistant

Steven Leslierandal
Board Secretary

Approved: PENDING

SPECIFICATION FOR INSTALLATION OF "GARDEN WINDOW"
KITCHEN WINDOW ONLY

There shall be no change to the structure or the window size of the installation of the "Garden Window". All previously installed windows cannot be modified without a new permit request.

1. Application for Permit to install improvements with drawing must conform to the LVW Association By-laws, Schedule B-Rules, and Regulations (rev. 5-15-73) Item 7.

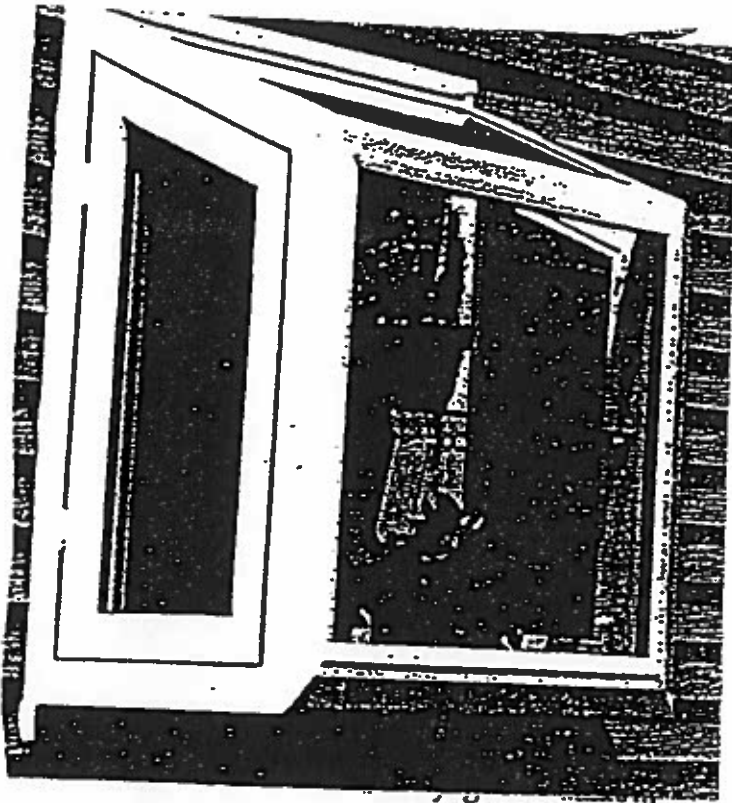
LEISURE VILLAGE WEST BY-LAWS
SCHEDULE B-RULES & REGULATIONS, ITEM 7

~~No owner, lessee or occupant of any unit shall make any structural alteration in the interior or any change on the exterior of such unit which would in any way alter the appearance of that unit, or install or permit to be installed any wiring for electrical, telephone, radio, television, air conditioning or other equipment, machines or devices either within or extending through any wall or outside of his unit without first obtaining express written authority therefore from the Board of Trustees and then only in accordance with specifications approved by the Trustees. With respect to any such proposed change which would alter or change the exterior appearance of the unit in any way, the Board of Trustees will not grant authority for such change or alteration until the Board of Trustees, through its agents or employees, obtains written evidence of the consent of all unit owners or occupants in direct visual line of sight of the subject unit. The Board of Trustees shall determine in its sole discretion whether the written consents obtained to an alteration or change include all of the unit owners or occupants in direct visual line of sight of the subject unit.~~

A permit for this improvement must be obtained from the LEISURE VILLAGE WEST ASSOCIATION and installation must conform to the New Jersey Uniform Construction Code.

THE RESPONSIBILITY FOR MAINTENANCE OR REPAIR OF THIS IMPROVEMENT IS THAT OF THE OWNER/SUBSEQUENT OWNER AND NOT THAT OF LEISURE VILLAGE WEST ASSOCIATION.

1. All work to be performed in a neat workman like manner in accordance with general accepted Trade Practices. This installation shall comply with all laws, codes, regulations, and ordinances. Installers shall be protected by insurance relating to property damage, worker's compensation, and public liability.
2. A permit with attached LVW specification and drawing indicating location of improvement is required before approval can be granted and work performed.



EVERY B.F. RICH GARDEN WINDOW COMES WITH THESE STANDARD FEATURES:

- ◆ Strong yet compact two-piece master frame assembly for maximum glass-to-vinyl ratio
- ◆ Each system custom computer-designed to ensure exact fit
- ◆ Conveniently located vent window handles
- ◆ Secure multi-point, self locking system
- ◆ Built-in water drainage system
- ◆ Engineered for maximum support and strength-making exterior bracing or cabling unnecessary
- ◆ Full 7/8-inch double glazing with Swiggle Seal™ energy-saving sealing system
- ◆ Standard 5/4-inch birch veneer buck and seat board
- ◆ Trapezoidal side vent windows

These custom options are available:

- ◆ Low E-glass with argon gas insulation
- ◆ Tempered glass or vinyl-coated wire interior shelving
- ◆ White DuPont CORIAN® seat board
- ◆ Electric vent window operating system
- ◆ Decorative glass inserts

WINDOW TO PATIO/DECK DOOR

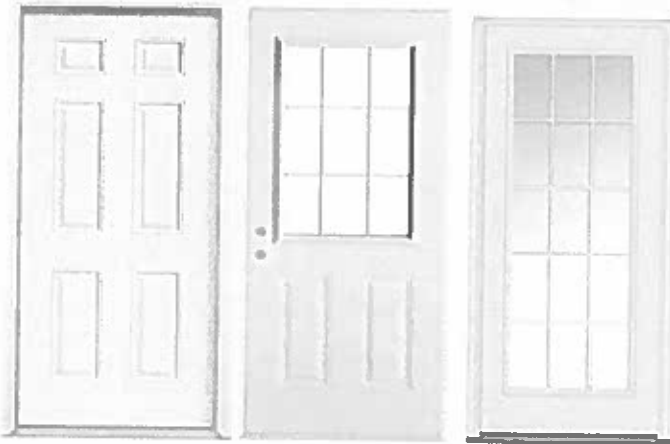
RITZ MODEL ONLY

MANCHESTER PERMIT REQUIRED

This Specification allows the owner of a **RITZ model only** to replace the bedroom window facing the patio or deck with a rear door to access said patio or deck. A **Manchester Permit** is required for this installation. An LVW and Manchester Permit is also required if any electrical work must be completed for this installation.

Style, Color, & Dimensions

The door must match the width and top dimensions of the window being removed. The door styles may be solid, solid with top panel (glass) 9-lite or 15-lite. The door may also have built in blinds between the clear glasses. The door should match the exterior trim color.



COMPONENTS

Replacement doors are purchased as kits that typically include a door panel, frame, weather stripping, sill, and hinges. (Door handle and dead bolt are usually sold separate).

COLOR:

All colors are Sherwin-Williams Exterior Paint, Satin Finish. All approved colors can be found in the Resident Handbook. The resident can either go to the Maintenance Office or go directly to a Sherwin-Williams outlet store to see actual color. A permit is required when a unit owner desires to change door or (style) and/or color of any unit in Leisure Village West. The unit owner may elect to paint the door(s) personally or contract with an Association approved painter.

LEISURE VILLAGE WEST ASSOCIATION
MANCHESTER, NEW JERSEY

SPECIFICATION NO. 3_13
PERMIT REQUIRED

Trustee Approved: PENDING

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INSTALLATION

The Association requires installation by a professional contractor, registered with the Division of Consumer Affairs. The contractor must furnish the Association with a current certificate of insurance before the resident can apply for a permit and before work can begin. The contractor will be responsible for daily cleanup and removal of all materials, equipment, and debris from LVW at the end of the day. **NO EXCEPTIONS**

The resident must notify the Permits and Inspection Division volunteer (name and phone number shown on the face of permit) when the installation is completed.

TERMS & CONDITIONS

The resident shall notify the Architectural Committee Volunteer (name and phone number shown on face of permit) when the installation is completed.

A copy of the TERMS & CONDITIONS, as attached to the resident's permit applies to all the above.

RESPONSIBILITY FOR THE MAINTENANCE, REPAIR OR REPLACEMENT OF THIS IMPROVEMENT IS THAT OF THE UNIT OWNER, OR SUBSEQUENT OWNER, AND NOT THE LEISURE VILLAGE WEST ASSOCIATION.

SPECIFICATION FOR INSTALLATION OF VINYL REPLACEMENT WINDOWS

GENERAL

Replacements must be double pane vinyl-glazed windows. All glass, except for bathroom windows, must be clear, green tint or blue tint. Green-tinted or blue-tinted windows provide thermal insulation and help reduce glare and UV rays, making units more comfortable and energy efficient by keeping your unit cooler in the summer months and reduce the amount you spend on air conditioning. If selecting tinted windows, ALL WINDOWS, per unit side, must be uniform in either clear or tinted glass.

COLOR, SIZE AND STYLE

The specification is planned to preserve uniformity of color, size, and style for units under one roof and for individual models within different sections of the Village. Generally, replacement must match the windows being replaced and maintain the exterior trim color. A relatively few exceptions are permitted, as follows:

Gliding Windows Gliding or sliding windows may be substituted in place of double hung windows of the same size.

Kitchen and Bathroom Windows. Where smaller size windows are located above sinks and counters the replacements may be installed without grids. Sash windows may be replaced with sliders or casements. Note that the decision to install casement windows overlooking walkways must take account of safety considerations.

Brown Windows. Replacements are expensive and of limited availability. Brown windows may be replaced by windows with white sashes and frames. The capping (or side) panels must match the trim color. All windows on any one side of a unit must be replaced at one time, other than the small slider windows in bathrooms. (See photograph of white window frames with brown trim)

Jalousie Windows. Some Original models in Condos 1-22 were built with jalousie windows in the sun rooms. These may be replaced with single or double hung sash windows with grids to match the existing windows of the unit in color and style. Brown windows may be replaced by windows with white sashes and frames. The capping (or side) panels must match the trim color.

Window Grids. Double hung windows may be installed with or without grids but must follow these guidelines. All windows, per unit side, must be matching either all with grids or all without.

Garden Windows. These windows were installed in some Encore models. They may be replaced by single or double hung sash windows to match the existing windows of the unit in color and style.

LEISURE VILLAGE WEST ASSOCIATION
MANCHESTER, NEW JERSEY

SPECIFICATION NO. 2_2

LVW Permit Required

Board Approved: July 2, 2008

Page 2 of 2

DIMENSION & INSTALLATION

The following installation guidelines must be observed:

- 1) All sills and heads are to be level, with jambs plumb, and shims used where necessary.
- 2) Squareness of the window unit is to be checked before final anchoring into the wall.
- 3) All voids between jams and framing are to be filled with loose insulation.
- 4) An allowance of 1/4 inch caulking is to be used between the perimeter of the window unit and exterior finish. Caulking application is to be neat and clean.
- 5) Protection of the window opening during construction is required. Also, protect and finish-paint exposed wood trim members promptly.
- 6) Installation and operation of the window should be checked before application of interior trim.

NOTE: ENCORE MODELS ONLY: Roxy, Savoy, Ritz, Waldorf, Pickford, Victoria

1. All windows MUST be replaced with New Construction Window.

The unit owner shall notify the Permits & Inspection Division Volunteer (name and phone number show on face of PERMIT) when work has been completed.

INSTALLER

Window installation must be made by a contractor who is registered with the Division of Consumer Affairs. Such Contractor must furnish the Leisure Village West Association Office with a current certificate of insurance before unit owner can apply for a permit, and before any work can begin.

TERMS & CONDITIONS

A copy of the TERMS & CONDITIONS, as attached to the resident's permit applies to all of the above.

This building improvement Permit will be filed with the Ocean County Clerk's Office.

RESPONSIBILITY FOR THE MAINTENANCE, REPAIR OR REPLACEMENT OF THIS IMPROVEMENT IS THAT OF THE UNIT OWNER, OR SUBSEQUENT OWNER, AND NOT THE LEISURE VILLAGE WEST ASSOCIATION

Board Approved: July 2, 2008
Amended: June 19, 2019
Amended: November 4, 2020
Amended: PENDING

SPECIFICATION FOR INSTALLATION OF NEW CONSTRUCTION WINDOWS

REPLACEMENT WINDOWS FOR ENCORE MODELS

Victoria, Pickford, Waldorf, Ritz, Savoy, Roxy

****All Contractors Must Contact the Maintenance Manager Before Any Product is Ordered.***

General

Replacements must be new construction style window with an exterior nailing flange and nailed directly to sheathing and sealed with a rubber membrane. All trim to be removed and then replaced.

Color and Style

The specification is planned to preserve uniformity of color and style for units under one roof and for individual models within different sections of the Village. As a rule, new construction must match the windows being replaced and maintain the exterior trim color. All glass, with the exception of bathroom windows, must be clear, green tint or blue tint. Green-tinted or blue-tinted windows provide thermal insulation and help reduce glare and UV rays, making units more comfortable and energy efficient by keeping your unit cooler in the summer months and reduce the amount you spend on air conditioning. If selecting tinted windows, all windows, per unit side, must be uniform in either clear or tinted glass.

Window Grids. Double hung windows may be installed with or without grids but must follow these guidelines. All windows, per unit side, must be matching either all with grids or all without.

Kitchen and Bathroom Windows

Where smaller size windows are located above sinks and counters the replacements may be installed without grids. Sash windows may be replaced with sliders or casements. Note that the decision to install casement windows overlooking walkways must take account of safety considerations.

Garden Windows

These windows were installed in some Encore models. They may be replaced by single or double hung sash new construction windows with grids to match the existing windows of the unit in color and style.

LEISURE VILLAGE WEST ASSOCIATION
MANCHESTER, NEW JERSEY

SPECIFICATION NO. 2 9
LVW Permit Required
Board Approved: March 6, 2013
Page 1 of 2

DIMENSION & INSTALLATION

The following installation guidelines must be observed:

- 1) All sills and heads are to be level, with jambs plumb, and shims used where necessary.
- 2) Squareness of the window unit is to be checked before final anchoring into the wall.
- 3) All voids between jams and framing are to be filled with loose insulation.
- 4) An allowance of 1/4 inch caulking is to be used between the perimeter of the window unit and exterior finish. Caulking application is to be neat and clean.
- 5) Protection of the window opening during construction is required. Also, protect and finish-paint exposed wood trim members promptly.
- 6) Installation and operation of the window should be checked before application of interior trim.

The unit owner shall notify the Permits & Inspection Division Volunteer (name and phone number show on face of PERMIT) when work has been completed.

INSTALLER

Window installation must be made by a contractor who is registered with the Division of Consumer Affairs. Such Contractor must furnish the Leisure Village West Association Office with a current certificate of insurance before unit owner can apply for a permit, and before any work can begin.

TERMS & CONDITIONS

A copy of the TERMS & CONDITIONS, as attached to the resident's permit applies to all of the above.

This building improvement Permit will be filed with the Ocean County Clerk's Office.

RESPONSIBILITY FOR THE MAINTENANCE, REPAIR OR REPLACEMENT OF THIS IMPROVEMENT IS THAT OF THE UNIT OWNER, OR SUBSEQUENT OWNER, AND NOT THE LEISURE VILLAGE WEST ASSOCIATION.

Board Approved: March 6, 2013
Amended: April 21, 2021

WINDOW MODIFICATION **GARDEN WINDOW MODIFICATIONS**

NOTE: ENCORE MODELS (Victoria, Pickford, Waldorf, Ritz, Savoy, Roxy) also require Specification 2_9 (SPECIFICATION FOR INSTALLATION OF NEW CONSTRUCTION WINDOWS)
****All other models also require Specification 2_2**

Color

The specification is planned to preserve uniformity of color and style for units under one roof and for individual models within different sections of the Village. As a rule, new construction must match the windows being replaced and maintain the exterior trim color. All glass, with the exception of bathroom windows, must be clear, green tint or blue tint. Green-tinted or blue-tinted windows provide thermal insulation and help reduce glare and UV rays, making units more comfortable and energy efficient by keeping your unit cooler in the summer months and reduce the amount you spend on air conditioning. If selecting tinted windows, all windows, per unit side, must be uniform in either clear or tinted glass.

Window Grids

Double hung windows may be installed with or without grids but must follow these guidelines. All windows, per unit side, must be matching either all with grids or all without.

Garden Windows

Garden windows are a 90-degree box shape, typically with the picture window in the center and casement windows on the sides having glass shelves.

Application for Permit to install improvements with drawing must conform to the LVW Association Rules and Regulations.

A permit for this improvement must be obtained from the LEISURE VILLAGE WEST ASSOCIATION and installation must conform to the New Jersey Uniform Construction Code.

Garden windows may be replaced by single or double hung sash windows to match the existing windows of the unit in color and style. See more details in Specification 2_2 or Specification 2_9 (Encore units)

Garden windows also may be replaced by bow windows. An illustration of the bow window must be included. See sample below -- roofing materials must match existing roof. Window must also be sized for the original garden window opening.

LEISURE VILLAGE WEST ASSOCIATION
MANCHESTER, NEW JERSEY

SPECIFICATION NO. 2_10A

LWV Permit Required

Board Approved: January 3, 2024

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DIMENSION & INSTALLATION

The installation guidelines must be observed – see more details in Specification 2_2 or Specification 2_9 (Encore models)

INSTALLER

Window installation must be made by a contractor who is registered with the Division of Consumer Affairs. Such Contractor must furnish the Leisure Village West Association Office with a current certificate of insurance before unit owner can apply for a permit, and before any work can begin.

TERMS & CONDITIONS

The resident shall notify the Architectural Committee Volunteer (name and phone number shown on face of permit) when the installation is completed.

A copy of the TERMS & CONDITIONS, as attached to the resident's permit applies to all the above.

RESPONSIBILITY FOR THE MAINTENANCE, REPAIR OR REPLACEMENT OF THIS IMPROVEMENT IS THAT OF THE UNIT OWNER, OR SUBSEQUENT OWNER, AND NOT THE LEISURE VILLAGE WEST ASSOCIATION.

Board Approved: January 3, 2024

WINDOW MODIFICATIONS
DOUBLE HUNG WINDOW MODIFICATIONS

NOTE: Also requires Specification 2_2

Color

The specification is planned to preserve uniformity of color and style for units under one roof and for individual models within different sections of the Village. As a rule, new construction must match the windows being replaced and maintain the exterior trim color. All glass, with the exception of bathroom windows, must be clear, green tint or blue tint. Green-tinted or blue-tinted windows provide thermal insulation and help reduce glare and UV rays, making units more comfortable and energy efficient by keeping your unit cooler in the summer months and reduce the amount you spend on air conditioning. If selecting tinted windows, all windows, per unit side, must be uniform in either clear or tinted glass.

Window Grids.

Double hung windows may be installed with or without grids but must follow these guidelines. All windows, per unit side, must be matching either all with grids or all without.

Double Hung Window Replacement with Sliders

Application for Permit to install improvements with drawing must conform to the LVW Rules and Regulations.

A permit for this improvement must be obtained from the LEISURE VILLAGE WEST ASSOCIATION and installation must conform to the New Jersey Uniform Construction Code.

Double hung windows including units with a triple set of double hung windows may be replaced by slider windows with or without grids to match the existing windows of the unit in color and style. The windows must be sized to the original window opening. See more details in Specification 2_2

DIMENSION & INSTALLATION

The installation guidelines must be observed – see more details in Specification 2_2.

INSTALLER

Window installation must be made by a contractor who is registered with the Division of Consumer Affairs. Such Contractor must furnish the Leisure Village West Association Office with a current certificate of insurance before unit owner can apply for a permit, and before any work can begin.

LEISURE VILLAGE WEST ASSOCIATION
MANCHESTER, NEW JERSEY

SPECIFICATION NO. 2 10B

LVW Permit Required

Board Approved: January 3, 2024

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TERMS & CONDITIONS

The resident shall notify the Architectural Committee Volunteer (name and phone number shown on face of permit) when the installation is completed.

A copy of the TERMS & CONDITIONS, as attached to the resident's permit applies to all the above.

RESPONSIBILITY FOR THE MAINTENANCE, REPAIR OR REPLACEMENT OF THIS IMPROVEMENT IS THAT OF THE UNIT OWNER, OR SUBSEQUENT OWNER, AND NOT THE LEISURE VILLAGE WEST ASSOCIATION.

Board Approved: January 3, 2024

WINDOW MODIFICATIONS DOUBLE HUNG TO PICTURE WINDOW MODIFICATIONS

NOTE: Also requires Specification 2_2 or Specification 2_9 (Encore windows)

Color

The specification is planned to preserve uniformity of color and style for units under one roof and for individual models within different sections of the Village. As a rule, new construction must match the windows being replaced and maintain the exterior trim color and glass color. All glass, with the exception of bathroom windows, must be clear, green tint or blue tint. Green-tinted or blue-tinted windows provide thermal insulation and help reduce glare and UV rays, making units more comfortable and energy efficient by keeping your unit cooler in the summer months and reduce the amount you spend on air conditioning. If selecting tinted windows, all windows, per unit side, must be uniform in either clear or tinted glass.

Window Grids.

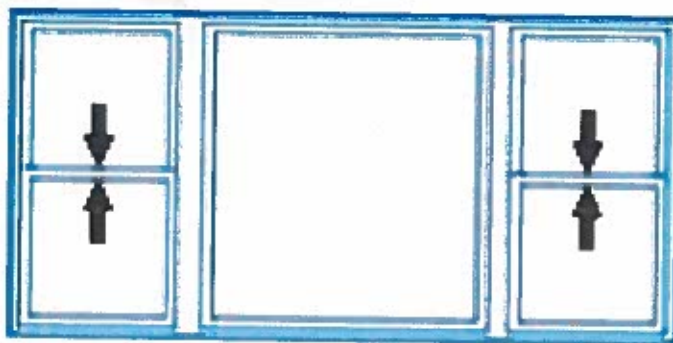
Double hung windows may be installed with or without grids but must follow these guidelines. All windows, per unit side, must be matching either all with grids or all without.

Double Hung Windows Replacement with Picture Window and Side Double Hungs

Application for Permit to install improvements with drawing must conform to the LVW Rules and Regulations.

A permit for this improvement must be obtained from the LEISURE VILLAGE WEST ASSOCIATION and installation must conform to the New Jersey Uniform Construction Code.

A triple set of double hung windows may be replaced by a picture window with side double hung windows. If the picture window is without grids, then all windows per that side of unit must also be without grids. The glass color must also be uniform, per side of unit, for all windows. The windows must be sized to the original windows opening. See more details in Specification 2_2 or 2_9 (Encore).



DIMENSION & INSTALLATION

The installation guidelines must be observed – see more details in Specification 2_2 or 2_9 (Encore)

LEISURE VILLAGE WEST ASSOCIATION
MANCHESTER, NEW JERSEY

SPECIFICATION NO. 2 10C
PERMIT REQUIRED

Trustee Approved:
Page 2 of 2

INSTALLER

Window installation must be made by a contractor who is registered with the Division of Consumer Affairs. Such Contractor must furnish the Leisure Village West Association Office with a current certificate of insurance before unit owner can apply for a permit, and before any work can begin.

TERMS & CONDITIONS

The resident shall notify the Architectural Committee Volunteer (name and phone number shown on face of permit) when the installation is completed.

A copy of the TERMS & CONDITIONS, as attached to the resident's permit applies to all the above.

RESPONSIBILITY FOR THE MAINTENANCE, REPAIR OR REPLACEMENT OF THIS IMPROVEMENT IS THAT OF THE UNIT OWNER, OR SUBSEQUENT OWNER, AND NOT THE LEISURE VILLAGE WEST ASSOCIATION.

LEISURE VILLAGE WEST ASSOCIATION
MANCHESTER, NEW JERSEY

Know what's below.
Call before you dig. **811**
1-800-272-1000

SPECIFICATION NO. **6_9**
LVW Permit Required
Board Approved: PENDING
Page 1 of 1

SPECIFICATION FOR A/C CONDENSING UNITS and HEAT PUMP SCREENS

GENERAL

A Leisure Village West Association permit is required for this installation, the Contractor must furnish the Association with a certificate of insurance before a permit is issued or work cannot begin. The LVW Association reserves the right to inspect the completed installation.

SPECIFICATIONS

- Must be white vinyl to match the Village fences
- Must have white vinyl fencing with spaces for ventilation – solid panels are NOT allowed
- May be one section in front of unit or two to three for full or partial unit enclosure
- All lattice-fencing sections must be able to be removed to work on the unit
- All lattice-fencing sections can-must be spiked into the ground as applicable and not attached to the unit.
- Screen-Fencing sections cannot be ~~no~~ more than four (4) feet high
- See photos of screen-fencing sections that ~~is-are~~ acceptable



It is requested that the unit owner, or subsequent owner, notify the Architectural Committee Volunteer (name and phone number shown on the face of PERMIT) when privacy fence installation has been completed. The Volunteer reserves the right to view all such fencing installations during work-in-progress, and upon completion.

It is understood, that the unit owner, or subsequent owner, is **RESPONSIBLE** for the maintenance, repair, ~~or~~ replacement, or removal of this improvement, and it is **NOT THE RESPONSIBILITY** of Leisure Village West Association.

NOTE: The fencing panels must be removed by resident prior to Leisure Village West servicing the A/C or heat pump units. Leisure Village West is NOT responsible for reinstalling the fencing panels.

INSTALLER

Installation must be made by a qualified contractor who is registered with the Division of Consumer Affairs or qualified resident. Such contractor must furnish the Leisure Village West Association office with a **current certificate of insurance before unit owner can apply for a permit, and before any work can begin.**

TERMS & CONDITIONS

A copy of the TERMS & CONDITIONS, as attached to the resident's permit, applies to all of the above.