

AGENDA

LVWA BOARD OF TRUSTEE MEETING WEDNESDAY, JANUARY 8, 2025 at 1:00 PM WILLOW HALL

Board Meetings are essential to running an Association, so keeping them as efficient and productive as possible is vital! The rules of Public Comment and Participation in the open portion of the Board meeting are as follows: Residents will be allowed a three-minute comment or question related to the topic on the agenda when it is being discussed or presented by the Board of Trustees. Everyone is to stay civil and use respectful language while avoiding personal attacks. There will be a maximum of two times at the podium.

- PLEDGE OF ALLEGIANCE
- CALL TO ORDER
- ROLL CALL

ITEMS TO BE VOTED ON:

1. Motion to waive the reading of the minutes.
2. Motion to approve the December 4, 2024 minutes.
3. Motion to approve the revisions to Architectural Specification 3_2 "Replace Garage Doors."
4. Motion to approve the revisions to the Policy for "Open Houses."
5. Motion to approve the revisions to Architectural Specification 2_5 "Installation of Garden Window - Kitchen Window Only."
6. Motion to approve the revisions to Architectural Specification 3_6 "Replace Front or Rear Doors."

PRESENTATION OF REPORTS:

I. COMMITTEE REPORTS

- Architectural Committee (Barbara Owens)
- Community Services Committee (Michael Morizio)
- Finance Committee (Chuck Corvo)
- Administration Committee (Mary Rose McCarthy)

II. RECREATION REPORT (Mary Lighthipe)

III. COMMUNITY MANAGER'S REPORT (Jim Snyder)

IV. BOARD OF TRUSTEE'S REPORT (Ivan Gilbert)

UNFINISHED BUSINESS

NEW BUSINESS

1. Revisions to Architectural Specification 2_10A, "Window Modifications - Double Hung Window to Slider Modification."
2. New Architectural Specification 2_10B, "Window Modifications - Double Hung to Picture Window Modification."
3. Revisions to Architectural Specification 6_2, "Installation of Roof Ventilating Fan - Electric or Solar."

AGENDA

LVWA BOARD OF TRUSTEE MEETING WEDNESDAY, JANUARY 8, 2025 at 1:00 PM WILLOW HALL

The Audit meeting is scheduled for Wednesday, January 15, 2025, at 1:00 PM in the auditorium of Willow Hall. Additionally, the next open Board meeting will take place on Wednesday, February 5, 2025, at 1:00 PM, also in the auditorium of Willow Hall.

• ADJOURN OPEN MEETING

RESIDENT COMMENTS/QUESTIONS PERIOD:

- ★ Rules of Public Comment and Participation in the Open Forum are as follows;
 - In general, residents' questions and comments should be addressed to the interest of all residents. To resolve personal or maintenance issues, contact the Department Manager and, if necessary, the Community Manager.
 - The Open Forum is not a debating time or a time to cross-examine our neighbors serving as Trustees.
 - This is an opportunity for residents to be heard, but everyone must stay civil and use respectful language while avoiding personal attacks.
 - The Open Forum will be limited to one hour but may end sooner if only a few residents address the Board.
 - Residents may comment or ask a question and will be allowed three minutes. If necessary, the Board of Trustees will make a two-minute comment or answer, and the resident will be allowed a one-minute follow-up question.
 - Maximum two times at the podium.
 - If a resident cannot ask a question or comment, the Board may be emailed at bot@lvwa.net. Emails will be reviewed at a Board of Trustee workshop meeting. Statements and opinions of village-wide significance will periodically be addressed at an Open Board of Trustee Meeting or in the Manager's Corner of the LVW News Magazine.

Board President Ivan Gilbert called the meeting to order at 1:00 PM, followed by the Pledge of Allegiance.

Roll Call:

PRESENT: Trustees:

- President: Ivan Gilbert
- Vice President: Al DAmato
- Treasurer: Louis Maiocco
- Secretary: Joyce Carmody
- Assistant Treasurer: Steven Leslierandal
- Trustee: Wayne Steinman

Management Staff:

- Community Manager: Jim Snyder
- Accounting Administrator: Michelle Lampard

ABSENT:

- Assistant Secretary: Fay Weinstein (Excused)

J. Snyder, the Community Manager, introduced the new Grounds Manager, Keith Savage.

ITEMS VOTED ON:

J. Carmody moved to waive the reading of the minutes. W. Steinman seconded. A vote was called, and all were in favor. The motion carried.

J. Carmody moved to approve the November 6, 2024, minutes. W. Steinman seconded. There was no discussion, and a vote was called. All were in favor, and the motion carried.

A. DAmato moved to approve the purchase of fifty-four (54) Lifetime Banquet tables from Sam's Club for the Willow and Encore Clubhouses at a total cost of \$5,539.88. The funds to meet this expense will be provided by account #3150 – Property Fund. S. Leslierandal seconded. There was no discussion, and a vote was called. All were in favor, and the motion carried.

L. Maiocco moved to contract gate attendant services with Allied Universal Security Service for a three-year contract: Year One: \$240,505.50, Year Two: \$247,530.00, and Year Three: \$254,554.50. The funds to meet this expense will be provided by account #7310—Gatehouse Entry. I. Gilbert seconded. An audience member asked questions and commented. A vote was called, and all were in favor. The motion carried.

S. Leslierandal moved to approve the expenditure of \$67,000.00 for Year Four of the common area lighting project. The funds to meet this expense will be provided by account #3230 – Capital Replacement/Common Buildings. W. Steinman seconded. There was no discussion, and a vote was called. All were in favor, and the motion carried.

W. Steinman moved to approve the revisions to the Policy Concerning Partisan Political Activities within Leisure Village West. A. Damato seconded. There was no discussion, and a vote was called. All were in favor, and the motion carried.

The approval for the revisions to Architectural Specification 3_2 "Replace Garage Doors" has been tabled.

J. Carmody moved to approve new Architectural Specification 6_9 "A/C Condensing Units and Heat Pump Screens." S. Leslierandal seconded. There was no discussion, and a vote was called. All were in favor, and the motion carried.

A. Damato moved to approve the revisions to Architectural Specification 2_2, "Installation of Vinyl Replacement Windows." I. Gilbert seconded. There was no discussion, and a vote was called. All were in favor, and the motion carried.

L. Maiocco moved to approve the revisions to Architectural Specification 2_9 "Installation of New Construction Windows." S. Leslierandal seconded. There was no discussion, and a vote was called. All were in favor, and the motion carried.

PRESENTATION OF REPORTS:

I. COMMITTEE REPORTS:

- Barbara Owens, Chairperson, gave a report for the Architectural Committee.
- Michael Morizio, Chairperson, gave a report for the Community Services Committee.
- Charles Corvo, Chairperson, gave a report for the Finance Committee.
- Mary Rose McCarthy, Chairperson, gave a report for the Administration Committee.

II. M. Lighthipe gave a report for the Recreation Department.

III. COMMUNITY MANAGER'S REPORT: (J. Snyder)

- A PowerPoint presentation regarding the Verizon FIOS bulk contract renewal options was given. A survey will be emailed to resident owners and available at the Association office to determine which option best suits their preferences.
- The Board is considering allowing residents to sell to the public at Recreational events, such as garage sales and holiday craft shows. A survey will be sent to resident owners via email to determine if they wish to pursue this.
- Outside Garden Hoses: Disconnect your garden hoses from the outdoor faucets to prevent freezing. This is a leading cause of water leaks in a unit, and insurance may not cover the damage if the garden hose is not removed.
- The Housing for Older Persons Act (HOPA) mandates that the Association demonstrate that at least 80 percent of the residents in the units are 55 years of age or older. A form will be provided in the January edition of the LVW magazine and available on the website. This form must be returned to the Association office.
- The Association has received the first draft of the Reserve Study, which is being reviewed by Management, the Board of Trustees, and the Finance Committee.

IV. BOARD OF TRUSTEE'S REPORT: (I. Gilbert)

- Coffee with the Board will occur on Saturday, December 7th, from 9 a.m. to 11 a.m. in the auditorium at Club Encore.
- The following list to be published on the LVW website will be titled "Roads."
- The Board expresses gratitude to the African American Club for their generous donation of a knife set.
- The Board has received numerous communications about the Community Manager's departure and residents' concerns regarding the management company.

THERE WAS NO UNFINISHED BUSINESS.

NEW BUSINESS:

1. The revisions to the policy for "Open Houses" were presented as attached to the agenda. The Board will vote on this at the next open Board meeting on January 8, 2025.
2. The revisions to architectural specification 2_5, "Installation of Garden Window – Kitchen Window Only," were presented as attached to the agenda. The Board will vote on this at the next open Board meeting on January 8, 2025.
3. The revisions to architectural specification 3_6, "Replace Front or Rear Doors," were presented as attached to the agenda. The Board will vote on this at the next open Board meeting on January 8, 2025.

J. Carmody thanked the committees for their hard work and dedication as volunteers.

The next open Board meeting will be held on Wednesday, January 8, 2025, at 1:00 PM in the auditorium at Willow Hall. The Audit meeting will be held on Wednesday, January 15, 2025, at 1:00 PM in the auditorium at Willow Hall.

There being no further business, the Board meeting adjourned at approximately 2:07 PM.

Samantha Bowker
Administrative Assistant

Joy Carmody
Board Secretary

Approved: PENDING

SPECIFICATION FOR REPLACEMENT OF GARAGE DOORS
AND
INSTALLING WINDOWS/SCREENS IN GARAGE DOORS

A. MATERIAL - DOORS

Doors shall be fiberglass, steel, or aluminum construction.

B. SIZE

All doors shall be 7 feet x 9 feet solid four panel-four section doors.

C. HARDWARE

All door replacements shall include tracks, locks, springs, and other complete hardware. Safety cables shall be placed through the two springs.

D. ARCHITECTURAL DESIGN - WINDOW/SCREENS



Doors shall use a four-short panel design as illustrated to the left.

Residents may opt to install windows in garage doors, which must have windows in the upper panel, and use the decorative design shown in the illustration using standard four panels.

E. COLOR

All doors must be installed with a white, low-maintenance finish.

Leisure Village® West Association

AT MANCHESTER, NEW JERSEY

LVW Policy "Open House"

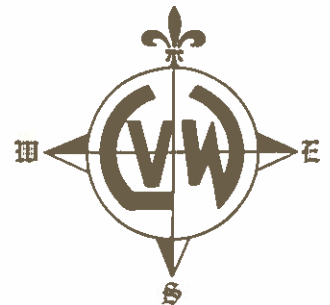
Sundays Only

- **Operating hours:**
 - Sundays 12 noon to 4:00p.m.
- **Registration:**
 - Open houses must be registered in advance with the Association no later than the ~~Wednesday~~Thursday before the scheduled event by calling 732-657-9595.
 - Registration must include the unit and stationed realtor's name and cell phone number.
 - A realtor must be stationed at the advertised open house.
- **Signage:**
 - No more than two "Open House" signs, not to exceed 24" X 18" in size.
 - One 16" maximum-sized balloon may be used per sign.
 - One sign is permitted on a primary roadway, and one is on each registered unit's garage side.
 - No signs or balloons are permitted outside our gates.

Deviations from these guidelines may result in prohibition from further listings.

Approved and Amended: September 1, 2021

Amended: PENDING



INSTALLATION OF "GARDEN WINDOW"
KITCHEN WINDOW ONLY

A permit for this improvement must be obtained from the LEISURE VILLAGE WEST ASSOCIATION.

GENERAL

Replacements must be double-pane vinyl-glazed windows. All glass, except for bathroom windows, must be clear, green tint, or blue tint. Green-tinted or blue-tinted windows provide thermal insulation and help reduce glare and UV rays, making units more comfortable and energy efficient by keeping your unit cooler in the summer and reducing the amount you spend on air conditioning. If selecting tinted windows, ALL WINDOWS, per unit side, must be uniform in clear or tinted glass.

For Encore models: Replacements must be new construction-style windows with an exterior nailing flange, nailed directly to the sheathing, and sealed with a rubber membrane. **Maintenance must be contacted before installation.** All trim must be removed and then replaced with Azek.

COLOR, SIZE and STYLE

The specification is planned to preserve uniformity of color, size, and style for units under one roof and individual models within different sections of the Village. Generally, replacement windows must match the windows being replaced and maintain the exterior trim color. Where smaller-sized windows are located above sinks and counters, replacements may be installed without grids. Garden windows may be single—or double-hung sash windows to match the existing windows of the unit in color and style.

Garden windows may be replaced by single—or double-hung sash windows that match the unit's existing windows in color and style.

Garden windows also may be replaced by bow windows. An illustration of the bow window must be included. See the sample included in this specification – roofing materials must match the existing roof. The window must also be sized to fit the original garden window opening.

DIMENSION & INSTALLATION

The following installation guidelines must be observed:

- All sills and heads are to be level, with jambs plumb and shims used where necessary.
- The squareness of the window unit is to be checked before final anchoring into the wall.
- All voids between jams and framing must be filled with loose insulation.
- A 1/4-inch caulking allowance is to be used between the perimeter of the window unit and the exterior finish. The caulking application is to be neat and clean.
- The window opening must be protected during construction. Also, exposed wood trim members must be protected and finish-painted promptly.
- The installation and operation of the window should be checked before applying the interior trim.

NOTE: For Encore Models only, all windows must be replaced with New Construction Windows. Maintenance must be contacted prior to installation.

LEISURE VILLAGE WEST ASSOCIATION
MANCHESTER, NEW JERSEY

SPECIFICATION NO. 2_5

LWV Permit Required

Board Approved: PENDING

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GARDEN WINDOW FEATURES

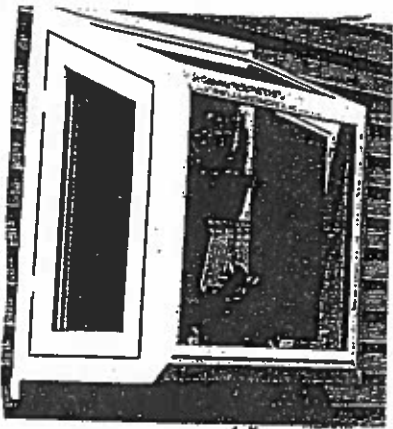
- Strong yet compact two-piece master frame assembly for maximum glass-to-vinyl ratio
- Each system is custom computer-designed to ensure an exact fit
- Conveniently located vent window handles
- Secure multi-point, self-locking system
- Built-in water drainage system
- Engineered for maximum support and strength exterior bracing or cabling unnecessary
- Full 7/8-inch double glazing with energy-saving sealing system
- Standard 5/4-inch birch veneer buck and seat board
- Trapezoidal side vent windows

INSTALLER

Installation must be made by a qualified contractor registered with the Division of Consumer Affairs or a qualified resident. Such a contractor must furnish the Leisure Village West Association office with a **current certificate of insurance before the unit owner can apply for a permit and before any work can begin.**

The unit owner shall notify the Permits & Inspection Division Volunteer (whose name and phone number are shown on the permit) when work has been completed.

SAMPLES



RESPONSIBILITY FOR THE MAINTENANCE, REPAIR, OR REPLACEMENT OF THIS IMPROVEMENT IS THAT OF THE UNIT OWNER OR SUBSEQUENT OWNER AND NOT THE LEISURE VILLAGE WEST ASSOCIATION.

TERMS & CONDITIONS

A copy of the TERMS & CONDITIONS, as attached to the resident's permit, applies to all the above.

Board Approved: February 19, 1997

Amended: August 17, 2010

Amended: PENDING

SPECIFICATION TO REPLACE FRONT OR REAR DOORS

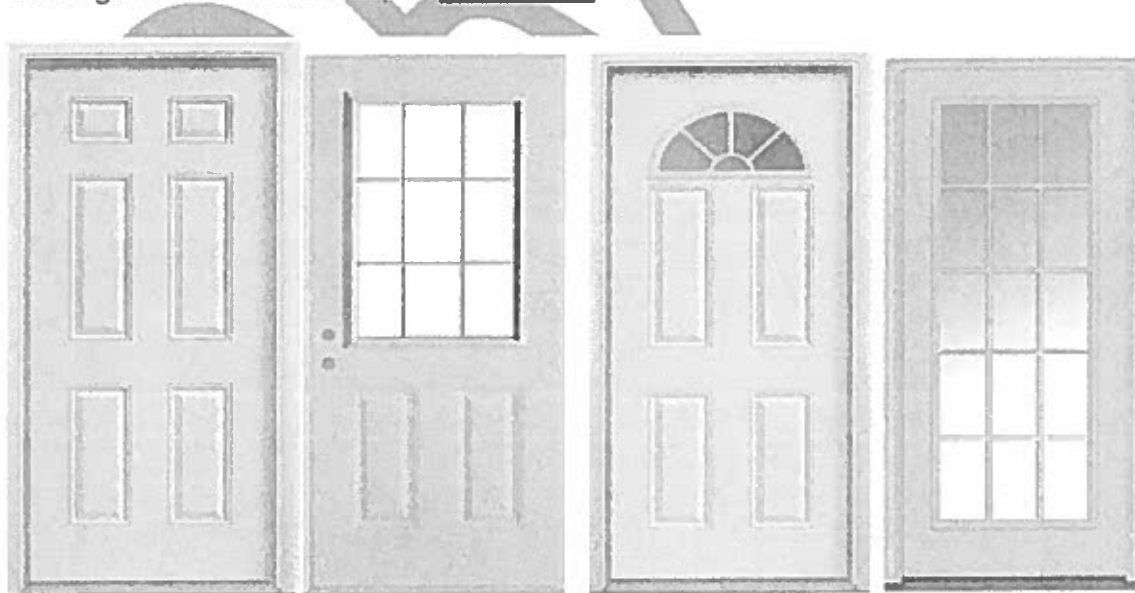
STYLE & DIMENSIONS

The replacement must match the dimensions of the door or doors being replaced. You can now replace your current door with either of the following original door styles (9-lite or 15-lite, solid, or solid with top panel (glass)). **Double doors may be replaced with single doors with sidelights.**

Solid doors with no lites (glass) can now be replaced with clear, solid white frosted glass or iridized glass with Etchings and/or Grilles. **STAINED GLASS IS NOT PERMITTED.**

Doors may also have built-in blinds between clear glasses. (Replacing 9 or 15 lite styles)

*See figures below for samples SAMPLES.



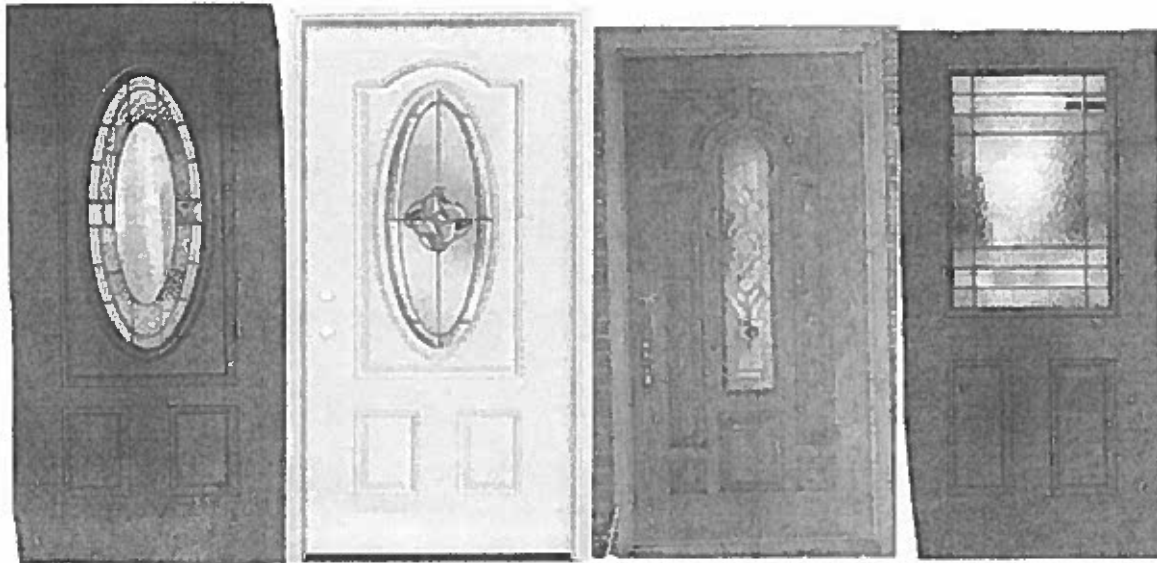
LEISURE VILLAGE WEST ASSOCIATION
MANCHESTER, NEW JERSEY

SPECIFICATION NO. 3_6

PERMIT REQUIRED

Page 2 of 4

Trustee Approved: July 3, 2013



LEISURE VILLAGE WEST ASSOCIATION
MANCHESTER, NEW JERSEY

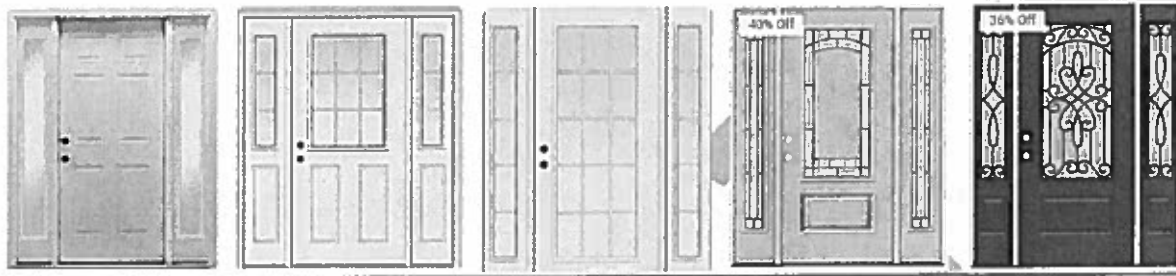
SPECIFICATION NO. **3_6**

PERMIT REQUIRED

Page 3 of 4

Trustee Approved: July 3, 2013

SIDELIGHT SAMPLES:



COMPONENTS

Replacement doors are purchased as kits, which typically include a door panel, frame, weather stripping, sill, and hinges. (The Door handle and deadbolt are usually sold separately.)

Slab door replacements are not allowed (that is, replacement doors without frames).

Acceptable products include Jeld-Wen, Stanley Steel Exteriors, and Benchmark by Therma Tru, Masonite, or equivalent brands.

The panel must be either steel-faced or fiberglass.

COLOR:

All colors are Sherwin-Williams Exterior Paint, Satin Finish. **All approved colors can be found in the Resident Handbook, page 35.**

To see the actual color, the resident can either go to the Maintenance Office or directly to a Sherwin-Williams outlet store.

A separate permit is required when a unit owner desires to change the door or (style) ~~and/or color of any unit in Leisure Village West.~~

The unit owner may paint the door(s) personally or contract with an association-approved painter.

The approved painter will be responsible for disposing of all paint and solvent containers according to all local, state, and federal environmental laws and regulations.

LEISURE VILLAGE WEST ASSOCIATION
MANCHESTER, NEW JERSEY

SPECIFICATION NO. **3_6**

PERMIT REQUIRED

Page 4 of 4

Trustee Approved: July 3, 2013

INSTALLATION

The Association requires installation by a professional contractor registered with the Division of Consumer Affairs. The contractor must furnish the Association with a current certificate of insurance before the resident can apply for a permit and before work can begin.

The contractor will be responsible for the daily cleanup and removal of all materials, equipment, and debris from LVW at the end of the day. **NO EXCEPTIONS**

The resident must notify the Permits and Inspection Division volunteer (whose name and phone number are shown on the permit) when the installation is completed.

TERMS & CONDITIONS

A copy of the TERMS & CONDITIONS, as attached to the resident's permit, applies to all the above.

RESPONSIBILITY FOR THE MAINTENANCE, REPAIR, OR REPLACEMENT OF THIS IMPROVEMENT IS THAT OF THE UNIT OWNER OR SUBSEQUENT OWNER AND NOT THE LEISURE VILLAGE WEST ASSOCIATION

Trustee Approved: July 3, 2013

Amended: April 19, 2017

Amended: November 21, 2018

Amended: PENDING

WINDOW MODIFICATIONS
DOUBLE HUNG WINDOW to SLIDER MODIFICATIONS

A permit for this improvement must be obtained from the LEISURE VILLAGE WEST ASSOCIATION and installation must conform to the New Jersey Uniform Construction Code.

NOTE: Also requires Specification 2_2 For Encore models: Replacements must be new construction style window with an exterior nailing flange and nailed directly to sheathing and sealed with a rubber membrane. Maintenance must be contacted prior to installation of windows. All trim must be removed and then replaced with Azek.

Color

The specification is planned to preserve uniformity of color and style for units under one roof and individual models within different sections of the Village. As a rule, new construction must match the windows being replaced and maintain the exterior trim color. All glass, with the exception of bathroom windows, must be clear, green tint or blue tint. Green-tinted or blue-tinted windows provide thermal insulation and help reduce glare and UV rays, making units more comfortable and energy efficient by keeping your unit cooler in the summer months and reduce the amount you spend on air conditioning. If selecting tinted windows, all windows, per unit side, must be uniform in either clear or tinted glass.

Window Grids.

Double hung Sliding windows may be installed with or without grids but must follow these guidelines. All windows, per unit side, must be matching either all with grids or all without.

Double Hung Window Replacement with Sliders Sliding Windows

Application for Permit to install improvements withdrawing must conform to the LVW Rules and Regulations.

~~A permit for this improvement must be obtained from the LEISURE VILLAGE WEST ASSOCIATION and installation must conform to the New Jersey Uniform Construction Code.~~

Double-hung windows, including units with a triple set of double-hung windows, may be replaced by ~~slider~~ sliding windows with or without grids to match the existing windows of the unit in color and style. The windows must be sized to the original window opening. **See more details in Specification 2_2**

SPECIFICATION NO. 2 10A

LVW Permit Required

Board Approved: January 3, 2024

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DIMENSION & INSTALLATION

The following installation guidelines must be observed: ~~— see more details in Specification 2_2.~~

- 1) All sills and heads are to be level, with jambs plumb, and shims used where necessary.
- 2) Squareness of the window unit is to be checked before final anchoring into the wall.
- 3) All voids between jams and framing are to be filled with loose insulation.
- 4) An allowance of 1/4 inch caulking is to be used between the perimeter of the window unit and exterior finish. Caulking application is to be neat and clean.
- 5) Protection of the window opening during construction is required. Also, protect and finish-paint exposed wood trim members promptly.
- 6) Installation and operation of the window should be checked before application of interior trim.

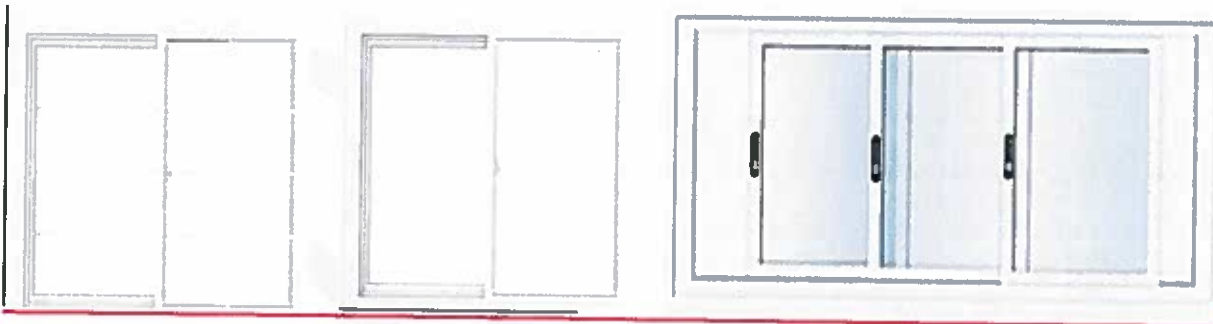
NOTE: ENCORE MODELS ONLY: Roxy, Savoy, Ritz, Waldorf, Pickford, Victoria.

All windows MUST be replaced with New Construction Window. Maintenance must be contacted prior to installation of windows.

INSTALLER

Window installation must be made by a registered contractor with the Division of Consumer Affairs. Such a Contractor must furnish the Leisure Village West Association Office with a current certificate of insurance before the unit owner can apply for a permit and before any work can begin.

SAMPLES



TERMS & CONDITIONS

The resident shall notify the Architectural Committee Volunteer (whose name and phone number are shown on the permit) when the installation is completed.

A copy of the TERMS & CONDITIONS, as attached to the resident's permit, applies to all the above.

RESPONSIBILITY FOR THE MAINTENANCE, REPAIR, OR REPLACEMENT OF THIS IMPROVEMENT IS THAT OF THE UNIT OWNER OR SUBSEQUENT OWNER AND NOT THE LEISURE VILLAGE WEST ASSOCIATION.

WINDOW MODIFICATIONS
DOUBLE HUNG TO PICTURE WINDOW MODIFICATIONS

A permit for this improvement must be obtained from the LEISURE VILLAGE WEST ASSOCIATION and installation must conform to the New Jersey Uniform Construction Code.

NOTE: Also requires Specification 2_2 or Specification 2_9 (Encore windows) For Encore models: Replacements must be new construction style window with an exterior nailing flange and nailed directly to sheathing and sealed with a rubber membrane. Maintenance must be contacted prior to installation of windows. All trim to be removed and then replaced with Azek.

Color

The specification is planned to preserve uniformity of color and style for units under one roof and individual models within different sections of the Village. As a rule, new construction must match the windows being replaced and maintain the exterior trim color and glass color. All glass, with the exception of bathroom windows, must be clear, green tint or blue tint. Green-tinted or blue-tinted windows provide thermal insulation and help reduce glare and UV rays, making units more comfortable and energy efficient by keeping your unit cooler in the summer months and reduce the amount you spend on air conditioning. If selecting tinted windows, all windows, per unit side, must be uniform in either clear or tinted glass.

Window Grids.

Double-hung windows may be installed with or without grids, but they must follow these guidelines. All windows, per unit side, must match either with grids or all without.

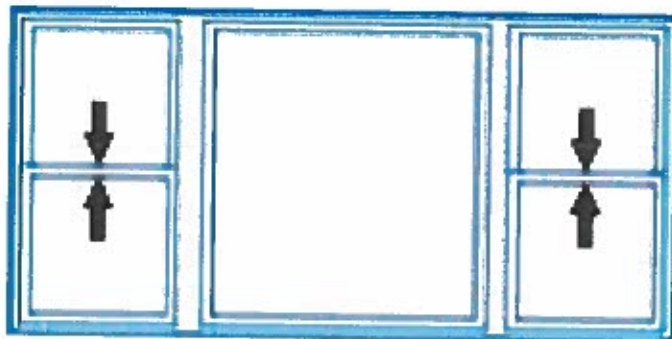
Double Hung Windows Replacement with Picture Window and Side Double Hung's

Application for a Permit to install improvements with a drawing must conform to the LVW Rules and Regulations.

~~A permit for this improvement must be obtained from the LEISURE VILLAGE WEST ASSOCIATION and installation must conform to the New Jersey Uniform Construction Code.~~

A picture window may replace a triple set of double-hung windows with side double-hung windows. If the picture window is without grids, then all windows per that side of a unit must also be without grids. The glass color must also be uniform per side of the unit for all windows. The windows must be sized to the original window opening. **See more details in Specification 2_2 or 2_9 (Encore).**

Sample



SPECIFICATION NO. 2 10B

LVW PERMIT REQUIRED

Trustee Approved: PENDING

Page 2 of 2

DIMENSION & INSTALLATION

The installation following guidelines must be observed

- 1) All sills and heads are to be level, with jambs plumb, and shims used where necessary.
- 2) Squareness of the window unit is to be checked before final anchoring into the wall.
- 3) All voids between jams and framing are to be filled with loose insulation.
- 4) An allowance of 1/4 inch caulking is to be used between the perimeter of the window unit and exterior finish. Caulking application is to be neat and clean.
- 5) Protection of the window opening during construction is required. Also, protect and finish-paint exposed wood trim members promptly.
- 6) Installation and operation of the window should be checked before application of interior trim.

NOTE: ENCORE MODELS ONLY: Roxy, Savoy, Ritz, Waldorf, Pickford, Victoria -- SA All windows MUST be replaced with New Construction Window. Maintenance must be contacted prior to installation of windows.

INSTALLER

Window installation must be made by a contractor who is registered with the Division of Consumer Affairs. Such Contractor must furnish the Leisure Village West Association Office with a current certificate of insurance before unit owner can apply for a permit, and before any work can begin.

TERMS & CONDITIONS

When the installation is completed, the resident shall notify the Architectural Committee Volunteer (whose name and phone number are shown on the permit).

A copy of the TERMS & CONDITIONS, as attached to the resident's permit, applies to all the above.

RESPONSIBILITY FOR THE MAINTENANCE, REPAIR, OR REPLACEMENT OF THIS IMPROVEMENT IS THAT OF THE UNIT OWNER OR SUBSEQUENT OWNER AND NOT THE LEISURE VILLAGE WEST ASSOCIATION.

Board Approved: PENDING

**SPECIFICATION FOR INSTALLATION OF ROOF VENTILATING FAN
ELECTRIC or SOLAR**

MANCHESTER PERMIT REQUIRED

GENERAL

Work is to be performed neatly and workmanlike in accordance with generally accepted trade practices. Further, all installations shall comply with all local laws, codes, regulations, and ordinances. The resident or installer shall be protected during installation by insurance relating to property damage, workers' compensation, and public liability.

Your attic ventilator must be located on the rear slope of the roof so that the top of the hood is just below the ridge line and not visible from the front of the house. It must be located as near the house's center as possible.

All wiring must conform to local codes. The fan must operate on 110–120-volt A.C. H-2 (circle) current only. The wiring must be permanent number 14-gauge copper wire or equivalent.

The fan must be equipped with a thermostat that automatically turns the fan on and off at a pre-determined temperature. The thermostat must be located away from the direct airstream caused by the fan and above the ventilator. The wiring must be for automatic and manual operation.

(2008) Fan must be a type equal to the following specifications:

1/10 HP, 1170 CFM (.03 static MVI) 2.7 AMPs, at least 14' diameter. The fan must also be equipped with a sealed bearing motor and requires no oiling or thermal overload protector to automatically shut off the motor when excessive load or strain is placed on it. However, it will come on again as soon as the motor cools down. **THE EXHAUST FAN-UNIT COVER/CAP MUST BE FABRICATED FROM A NON-FERROUS (METAL) MATERIAL (NOT PLASTIC).**

Manchester Township Electrical Bureau Inspection Certificate is required to be submitted to the Association.

The owner or subsequent owner is responsible for maintaining or replacing this improvement, not the Leisure Village West Association.

LEISURE VILLAGE WEST ASSOCIATION
MANCHESTER, NEW JERSEY

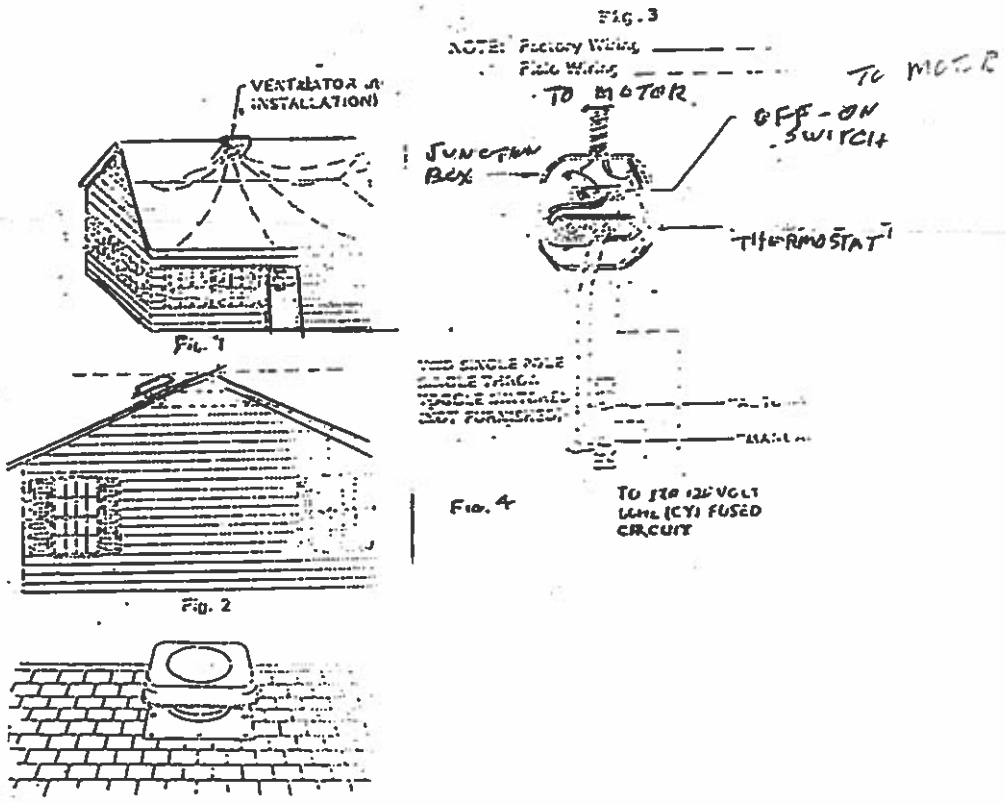
SPECIFICATION NO. 6_2

LWV PERMIT REQUIRED

Trustee Approved: April 3, 1998

Page 2 of 4

SPECIFICATION FOR INSTALLATION OF ROOF VENTILATING FAN



SOLAR INSTALLATION

Your attic solar ventilator must be located on the rear slope of the roof so that the top of the hood is just below the ridge line, and not visible from the front of the house. It must be located as near to the center of the house as possible.

Model size is determined by the venting capacity for the size of the unit. It must be an affixed solar panel roof mount which is recommended for residential use. Color (gray, black or bronze) should be consistent to the roof color. The adjustable solar panel should be positioned at various angles to optimal solar exposure on the rear slope of the roof. The unit should have a steel wire screen to keep out critters and debris.

The unit should have a smart thermostat with wide range control of 50-122 °F and an enable/disable feature which allows more freedom to control the fan.

TERMS & CONDITIONS

The resident shall notify the Architectural Committee Volunteer (whose name and phone number are shown on the permit) when the installation is completed.

A copy of the TERMS & CONDITIONS, as attached to the resident's permit, applies to all the above.

RESPONSIBILITY FOR THE MAINTENANCE, REPAIR, OR REPLACEMENT OF THIS IMPROVEMENT IS THAT OF THE UNIT OWNER OR SUBSEQUENT OWNER AND NOT THE LEISURE VILLAGE WEST ASSOCIATION.

WAIVER

DISCLAIMER:

If the roof must be replaced or repaired, the unit owner must sign a waiver.

The unit owner must obtain a contractor to remove and replace the "Roof Ventilating Fan" if desired so as not to void the warranty of the fan installed.

Leisure Village West or its agents will not be responsible for any damage to the "Roof Ventilating Fan" during roof replacement or repair.

Unit Owner Signature

Unit Address

Date: _____